



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

**CULTURAL RESOURCES OFFICE
PRESERVATION BOARD
REGULAR MEETING
MONDAY MAY 24TH, 2010
1015 LOCUST ST. #1200
4:00 P.M.**

www.stlouis.missouri.org/citygov/planning/heritage

PRELIMINARY REVIEWS

- | | |
|--|------------------------------------|
| A. 1117 DOLMAN ST. | LAFAYETTE SQUARE HISTORIC DISTRICT |
| B. 2306 S. 13TH ST. | SOULARD HISTORIC DISTRICT |

NEW APPLICATIONS

- | | |
|-----------------------------------|------------------------------------|
| C. 2231 JULES ST. | McKINLEY HEIGHTS HISTORIC DISTRICT |
|-----------------------------------|------------------------------------|

SPECIAL AGENDA ITEM

- | | |
|--|----------------------------|
| D. EXTENSION TO BOUNDARIES | FOX PARK HISTORIC DISTRICT |
|--|----------------------------|



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**

Cultural Resources Department

A.

DATE: December 21, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Preliminary Review: new single-family construction on a vacant lot
ADDRESS: 1117 Dolman Street
JURISDICTION: Lafayette Square Local Historic District **Ward: 6**

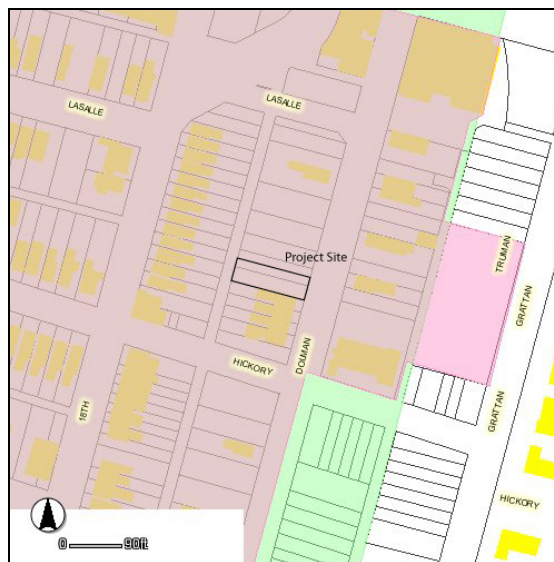


1117 DOLMAN STREET

Owner:
Chris Becker

Architect:
Melinda Stewart, Consultant

Staff Recommendation:
That approval be granted with the condition that the Cultural Resources Office staff approve final drawings, details, finishes and exterior materials.



PROPOSAL:

To construct a 2-story single-family building on a vacant lot in the Lafayette Square Local and National Register Historic Districts

BACKGROUND:

The Cultural Resources Office received a preliminary application for the construction of a two-story single-family house on 5/12/2010.

The staff determined that the application met the criteria of the Lafayette Square Historic District Standards and scheduled the project for Preservation Board review.

SITE AND SURROUNDING AREA

1117 Dolman is located in the center of the 1100 block of Dolman, directly adjacent to four historic rowhouses in the eastern portion of the Lafayette Square Local Historic District: the eastern boundary runs along the alley bisecting the opposite block. The project is also within the boundaries of the Lafayette Square National Register District — that boundary runs down the center of Dolman Street.

Several vacant lots are adjacent to the site on the north; further north is a large two-and one-half-story Second Empire house. Opposite are scattered single-families and St. Mary's Assumption Church.

Dolman Street as a whole has suffered many demolitions and much of the street is vacant, with only remnants of the original historic fabric. Most of the few remaining structures are in fair to good condition, and a new house is under construction at Dolman and Hickory.



PROJECT SITE WITH ADJACENT ROWHOUSE



ROWHOUSES ADJACENT TO SITE ON SOUTH



CONTEXT ON EAST SIDE OF DOLMAN OPPOSITE SITE TO NORTH

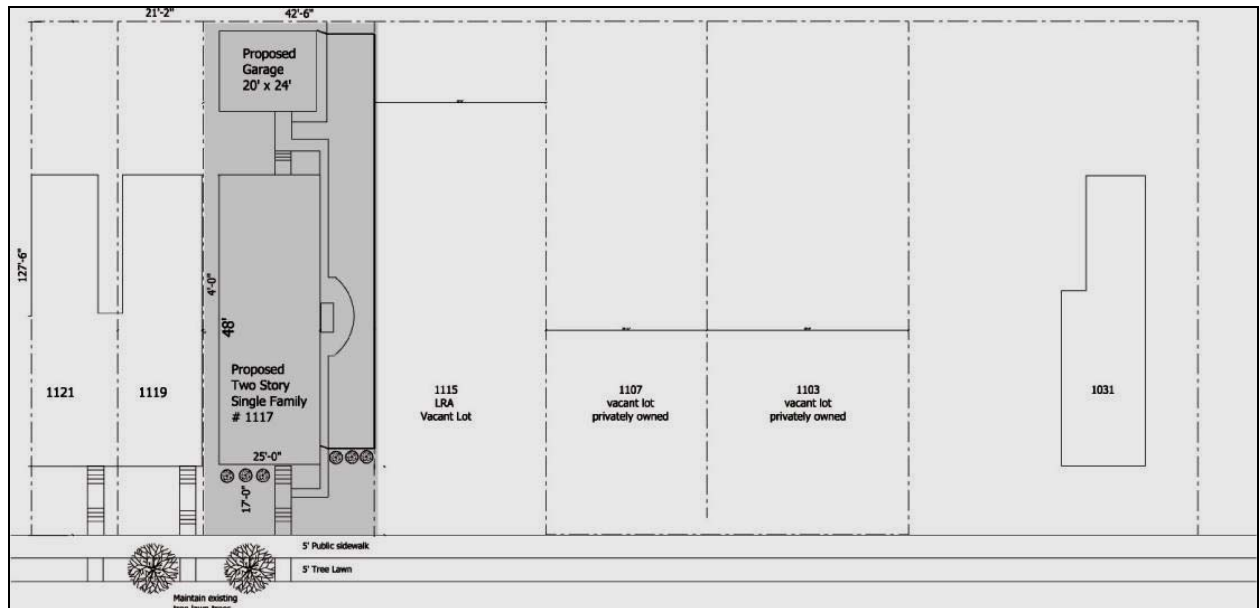




ST. MARY'S AND CONTEXT ON EAST SIDE OF DOLMAN

REASONS FOR APPLICATION:

The owner wishes to obtain preliminary approval of the design before completing construction drawings.



SITE PLAN SHOWING PROPOSED SINGLE-FAMILY AND DETACHED GARAGE SHOWN SHADED

RELEVANT LEGISLATION:

Excerpt from Ordinance #63327, Lafayette Square Historic District:

301 PUBLIC AND INTERMEDIATE FACADES

1. *The Public and Intermediate Facades of Non-Historic Buildings, New Construction and permitted Additions to existing Historic Buildings shall be reviewed based on the following:...*

301.1 Site

1. Alignment

1. New construction and additions shall have Public Facade(s) parallel to the Public Facade(s) of the adjacent buildings....

Complies. Front facade will align with adjacent building.

2. Setback

1. New construction shall have the same setback as adjacent buildings....

Complies. Front façade and side elevation will conform to existing building setbacks.

3. Every unit shall have a Public Facade....

Complies.

4. In all new buildings, at least one Public Facade that faces the street shall contain an entrance.

Complies.



FRONT ELEVATION

301.2 Mass

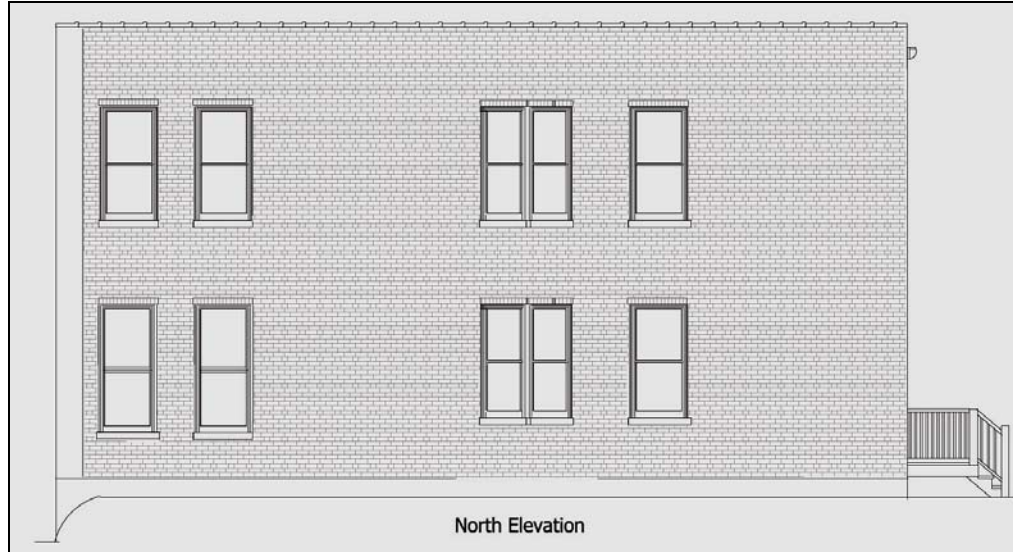
1. The mass of new construction shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Complies. The building's height at the front parapet and its floor-to-ceiling heights are similar to those of the historic rowhouses to the south.

2. All new buildings shall be up on a base. The elevation of the first floor shall be at least 3 steps higher than the grade and there shall be steps leading to the entry. On the Public and Intermediate Facades, there shall be a differentiation

in the facade near the level of the first floor that defines the base. The wall materials and/or the detailing at the base shall be distinct from that of the rest of that facade.

Complies. The building's first floor level is similar to the adjacent buildings, and the material of the base is distinct from that of the walls. The front façade will be scored stucco, and the visible north elevation will be brick.



ELEVATION FACING SIDE YARD

301.3 Scale

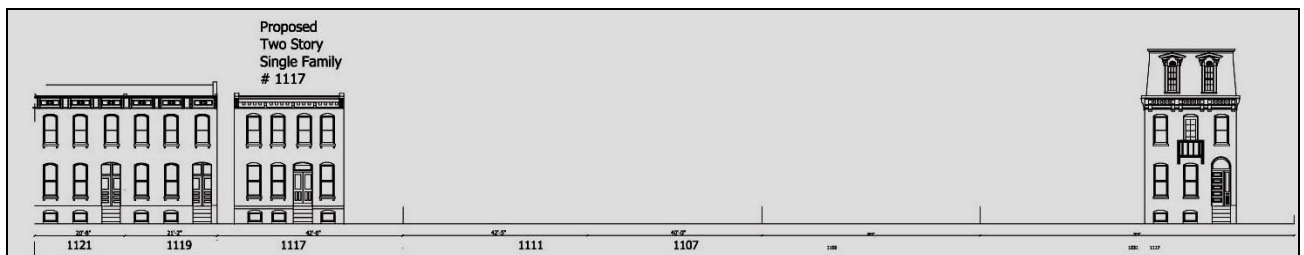
1. *New construction shall appear to be the same number of stories as other buildings within the block, or shall have the same number of stories as the building original to that site. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.*

Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the crown molding on a Mansard building, to the roof eave on a building with a sloping roof.

Complies. The building's height above grade and floor height have been revised to be similar to the adjacent building.

2. *The building height shall be within 2' above or below the average height within the block....*

Complies.

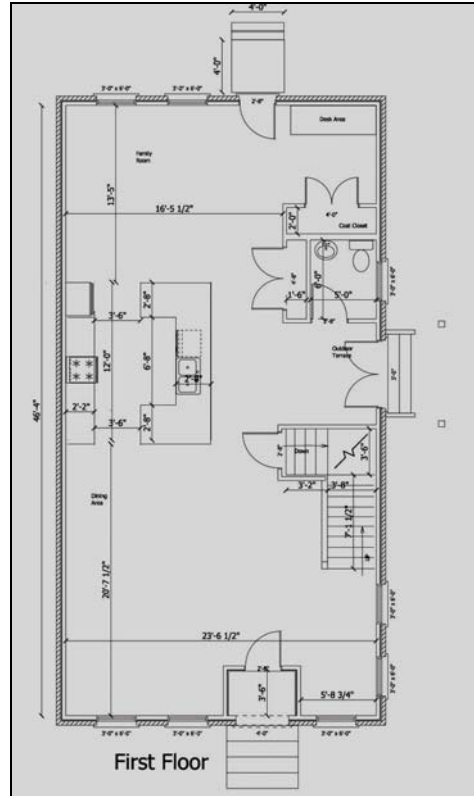


DOLMAN ELEVATION SHOWING PROPOSED HOUSE IN CONTEXT WITH EXISTING FABRIC

301.4 Proportion

1. The proportions of new construction and additions shall be comparable to those of adjacent buildings.

Partly complies. The size, proportions and relationship of windows, door and cornice proportions are characteristic of the historic examples on the street. The house will be constructed within 4 feet of the adjacent house; however, the width of the side yard to the north is substantial: the new building and its yard occupy approximately one and one-half lots. Dolman Street has many vacant parcels and has lost a great deal of its original development pattern and rhythm.



FIRST STORY FLOOR PLAN

301.5 Ratio of Solid to Void

1. The total area of windows and doors in the Public Facade of new construction and additions shall be no less than 25% and no more than 50% of the total area of the facade.

Complies. Both the front façade and the north elevation conform to this requirement.

2. The proportion of a window in the Public Facade of new construction and additions shall be between one of the following:
 1. 1:2 and 1:3. The height shall be at least twice the width ($W \times 2 < H$).
 2. Approved by the Lafayette Square Restoration Committee.

Partly complies. The front elevation has windows of the appropriate proportions; however, the Hickory elevation, which is also a Public Façade, has two windows, one at the first story that is 1:1 and another at the second story that is 1:1.2.

301.6 Public and Intermediate Facade Materials and Material Color

1. Finish materials shall be one of the following:
 1. Kiln-fired brick, 2-2/3"x8"x4" nominal, or brick size based on a model example.

Comment: Brick within the District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove (See figure 8). Most brick within The District is hard and smooth and red or orange in coloration with only minor variations in coloration.

2. Stone common to The District
3. Replica stone including scored stucco

4. Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels.
5. Approved by the Lafayette Square Restoration Committee....

Complies. The front façade will be scored stucco with the appearance of stone; the north elevation, an Intermediate Façade, will be brick.

2. Clear and non-reflective panes of glass shall be used in Public and Intermediate facade windows, transoms and doors.

Complies.

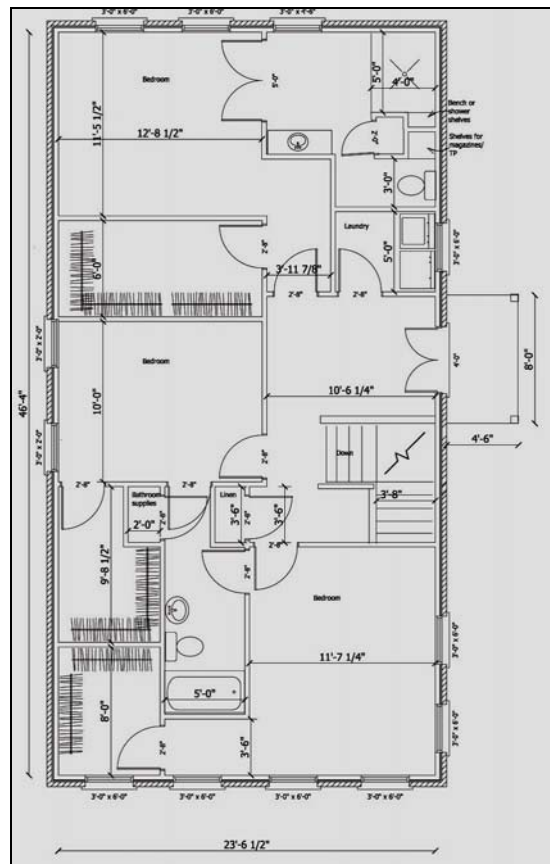
3. Gutters and downspouts shall comply with Section 201.8(A)(3)&(4).
4. A proposed structure that uses brick on the Public Facades shall also use brick on the Intermediate Facades.

Not Applicable.

301.7 Public and Intermediate Facade Roofs

1. Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.
2. Visible roofing material shall be limited to the following:
 1. slate,
 2. synthetic slate,
 3. asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,
 4. standing seam, copper or pre-finished sheet metal roofing,
 5. Plate or structural glass....

Complies with all requirements.



SECOND STORY FLOOR PLAN

303 GARAGES, ALLEY HOUSES & CARRIAGE HOUSES

1. Garages shall be set within 10' of the alley line.
2. Garages shall be directly behind the main structure on the site. If existing site conditions prohibit this placement, then the new structure shall comply with Section 301, except 301.1(B), and 301.3.
3. Vehicular access shall only be from the alley. See also Section 301.1(F)
4. Garage doors shall be parallel to, and face, the alley.
5. Construction materials:

1. *Consistent with a model example.*
2. *Brick*
3. *Stone or replica stone, including scored stucco or block.*
4. *Siding.*

Complies with all requirements. The garage is located directly behind the house at the alley, and will be sided.

COMMUNITY CONSULTATION:

The Cultural Resources Office has not received any comments on the project from the Alderman or any neighborhood group.

COMMENTS :

The applicant and owner have been cooperative in responding to the staff's concerns and their comments have been addressed in the current submission.

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant approval to the project as currently proposed, with the condition that final drawings, details, finishes and exterior materials be reviewed and approved by the staff.

CONTACT:

| | |
|-------------|--|
| Jan Cameron | Planning and Urban Design, Cultural Resources Office |
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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

B.

DATE: May 24, 2010
FROM: Robert Bettis, Preservation Planner, Cultural Resources Office
SUBJECT: Preliminary Review to construct sidewalk at Public Facade
ADDRESS: 2306 South 13th Street
JURISDICTION: Soulard Historic District Ward 7



2306 SOUTH 13TH

Owner / Appellant:

BSB Development
Anne McDonnell

Recommendation:

That the Preservation Board deny the Preliminary Application as the proposed work is not in compliance with the Soulard Design Standards.





2306 SOUTH 13TH

PROPOSAL:

To replace existing concrete on-premise sidewalk with broom-finished concrete in place of exposed aggregate as required by the Soulard Standards.

BACKGROUND:

The owner applied for a building permit on May 3, 2010 to repair a historic front wall and steps and to replace the existing walkway at the Public Façade of a two and one-half story house. The permit was approved with the requirement that, per historic district standards, the portion of the sidewalk in front of the building line have an exposed aggregate finish.

On May 4, 2010, the owner of the property sent a letter to the Cultural Resources Office objecting to the requirement that the sidewalk be exposed aggregate, and stating her intent to use regular white concrete instead. As the proposal clearly was in violation of the Standards, the Cultural Resources Office staff agreed to present the issue to the Preservation Boards as a Preliminary Review for their determination. The project was then scheduled for the May 24, 2010 Preservation Board.

SITE AND SURROUNDING AREA:

2306 S. 13th St. is a two-family, three-story house in the Second Empire style, constructed in 1885 in the Soulard Historic District. The subject property is located between Shenandoah to the north, and Lami to the south. Surrounding buildings consist of single and multi-family houses of similar styles and are all well-maintained and are contributing resources to the historic district.



NEIGHBORING PROPERTY ON 13TH



WEATHERED AGGREGATE AT NEIGHBORING PROPERTY ON 13TH

RELEVANT LEGISLATION:

Per the Soulard Historic District Ordinance #: 57078

ARTICLE 4: SITE

404 Sidewalks and Steps

At the Public Facade sidewalks shall be one of the following:

Red brick.

Cast-in-place concrete with an exposed aggregate finish.

Bomanite or equivalent.

A combination of the above.

Does not comply. The proposed walkway will be cast-in-place concrete but will not have an aggregate finish.



PUBLIC SIDEWALK ON 13TH



PUBLIC/PRIVATE SIDEWALK ON 13TH



WALKWAY WITH AGGREGATE FINISH ON 13TH ST.

COMMUNITY CONSULTATION:

At this time, the Cultural Resources Office has received no communication concerning the project from the Alderman or any neighborhood group.

COMMENTS :

Walkways within the Soulard historic district are generally simple linear paths that are comprised of a few basic materials; brick or aggregate concrete. The Standards require that a sidewalk at a Public Façade be of red brick, cast-in-place concrete with an aggregate finish or Bomanite. The Standards do not differentiate between sidewalks in the public right-of-way and on-premise sidewalks. In the past the Cultural Resources Office has always required any new or replacement concrete walkways to have an aggregate finish.

In October of 2008, the Preservation Board heard a similar project in the Soulard historic district involving a cast-concrete sidewalk installed without a permit. At that time, the Board ruled that the sidewalk was located in front of a Public Façade and therefore should have an aggregate finish as required under the Standards.



SIDEWALK TO BE REPLACED

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board deny the Preliminary Application as the proposal does not comply with the Soulard Historic District Standards.

CONTACT:

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

C.

DATE: May 24, 2010
FROM: Jan Cameron, Preservation Administrator, Cultural Resources Office
SUBJECT: New Application: Replace three windows on front façade of 2-story semi-detached townhouse
ADDRESS: 2231 Jules
JURISDICTION: McKinley Heights Local Historic District Ward 7

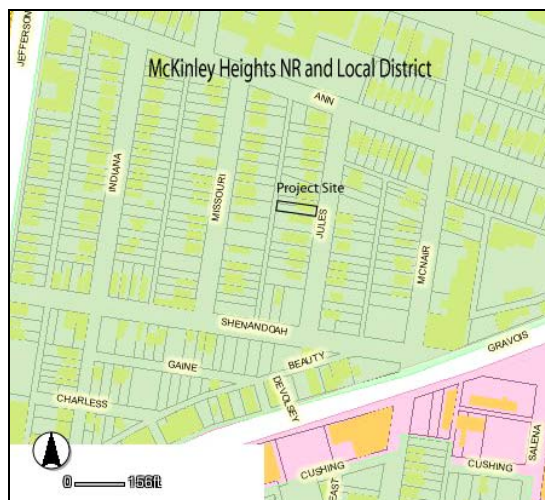


2213 JULES

Owner/Applicant:
Zeitler Properties LLC
Ryan Zeitler & Aaron Brown

Purpose:
To obtain permission to retain front windows installed without approved permit

Recommendation:
That the Preservation Board deny the permit application as the replacement windows do not comply with the McKinley Heights Historic District Standards.



PROPOSAL:

To retain vinyl replacement windows installed without a permit on a two-story, semi-detached rowhouse.



**2231 JULES FROM THE SOUTHEAST
SOUTH FACADE WINDOWS HAVE NOT BEEN REPLACED BY THIS OWNER**

BACKGROUND:

On March 31, 2010, the Cultural Resources Office received a complaint from the Citizens' Service Bureau regarding window replacement without permit at 2231 Jules, in the McKinley Heights Local Historic District. The owners were cited, and subsequently submitted an application for a building permit for the work on April 29, 2010.

The Cultural Resources Office met with the property owners and explained that the windows that were installed did not comply with the McKinley Heights historic district standards. The owner stated that they had recently purchased one-half of the converted townhouse structure for rental property and replaced three of the front windows, unaware that the building was in a historic district and a permit was required. The staff suggested appropriate windows, but the owners chose instead to present their case to the Preservation Board, and the project was scheduled for the next Board agenda.



SITE PLAN



CONTEXT SOUTH OF SITE

SITE AND SURROUNDING AREA:

2231 Jules is located in the center of the McKinley Heights National Register and Local historic district. The block is residential in character and its historic fabric fairly intact, with two infill buildings dating from 1935 and c. 1960. Properties are generally well-maintained. There have been minor alterations to most of the buildings, but they retain their historic character and are contributing resources to the district.



**CONTEXT DIRECTLY SOUTH
2231 JULES AT CENTER RIGHT**



NORTHEAST ON OREGON



SOUTHEAST ON OREGON

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, the McKinley Heights Local Historic District:

203 Windows: Windows are crucial to a building's historic character.

203.1 Windows at Public Facades:

- 1) *Windows in Public Facades shall be one of the following:*
 - a) *The existing window repaired and retained*
 - b) *Replacement window, duplicating the original, which meets the following requirements;*
 - i) *Replacement windows or sashes shall be made of wood or finished aluminum,*
 - ii) *The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.*
 - iii) *The number, arrangement and proportion of lights shall match the original or be based on a Model Example.*
 - iv) *The method of opening shall be the same as the original*

Does not comply. The original windows, still in place on the adjacent townhouse, were 2-over-2 segmentally arched wood windows. The replacement windows are 1-over-1 vinyl windows with flat heads inserted into the arched openings.
- 2) *Reconstructed windows and sashes in a Public Facade shall be based on the following;*
 - a) *An adjacent existing window in the same Facade that is original; or*
 - b) *If all windows on a Facade are being replaced they, shall be based on a Model Example.*

Not Applicable.
- 3) *Glass Types at a Public Facade*
 - a) *Glass in historic windows an a Public Facade shall be one of the following:*
 - i) *Clear glass or other original glazing;*
 - ii) *Glass based on a Model Example; or*
 - iii) *Insulated glass with exterior face set 3/8" back from exterior of the sash.*

Complies.



DETAIL OF ENTRY BAYS OF BOTH PROPERTIES



VINYL REPLACEMENT



ORIGINAL WOOD WINDOW

COMMUNITY CONSULTATION:

The Cultural Resources Office has not been contacted by the Alderwoman, or any neighborhood group regarding this project. The original complaint came from a neighborhood resident.

COMMENTS :

The replacement windows are in violation of the McKinley Heights historic district standards. Neither the material, proportions, or configuration of the new windows are in any way similar to the original historic windows. In addition, since only three of the building's six front windows were replaced, the building's historic character has been seriously diminished.

**CONCLUSION:**

The Cultural Resources Office recommends that the Preservation Board deny the permit application, as the windows do not meet the requirements of the McKinley Heights Historic District standards. The Preservation Board should instruct the property owners to remove the illegal windows and replace them with approved historic replacement windows.

CONTACT:

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

D.

DATE: February 27, 2006
FROM: Kate Shea, Director, Cultural Resources Office
SUBJECT: Petition to Extend Boundaries of Existing Local Historic District
ADDRESS: Various in the Fox Park Neighborhood
JURISDICTION: Title 24 Section 13 Wards: 6 and 7



Petitioners:

Honorable Kacie Starr Triplett 6th Ward Alderman
Honorable Phyllis Young, 7th Ward Alderman

Owner:

Various, to be notified

Purpose:

Extend the boundaries of the Fox Park Local Historic District, including adoption of the existing Fox Park Historic District Design Standards.

Recommendation:

Staff recommends initial approval and that the Board forward the proposed Extension to the Board of Public Service and the Planning Commission for review and recommendations.



PROPOSAL:

Extend the boundaries of the Fox Park Historic District, including adoption of the existing Fox Park Historic District Design Standards.

BACKGROUND:

Research has established that the development patterns that established the original boundaries of the Fox Park Historic District and neighborhood extended further to the south and east than previously understood. Alderwomen Kacie Starr Triplett and Phyllis Young have petitioned to extend the boundaries of the Fox Park Local Historic District to include these more accurate boundaries.

This work is being undertaken in conjunction with the Fox Park Neighborhood organization, its president Ian Simmons, and Tom Pickle from the DeSales Housing Corporation.

It is anticipated that this project will eventually result in the listing of sites within the expanded boundary in the National Register of Historic Places under the category of Social History’.

SITE AND SURROUNDING AREA:



The boundaries of Fox Park Local Historic District are currently defined by Highway 44, Nebraska Avenue, Victor Street and Jefferson Avenue. The boundaries are currently shown in yellow, this same color defines the Compton Hill Local Historic District as well, which has an eastern border of Nebraska, south boundary of Victor, west boundary of Grand Avenue and north boundary of Interstate 44.

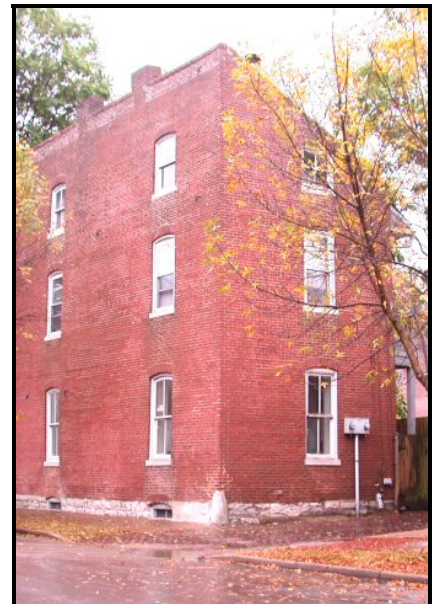
The Boundary Extension is shown in blue and would increase the Fox Park District area from Victor, south along Nebraska to Gravois, east along Gravois to Jefferson, north along Jefferson to Victor and west along Victor to Nebraska.



Architecturally, the area is comprised of a mix of two story brick row houses and town houses as well as having sections of grander revival style houses. To the right is a photograph of the rare “Flounder House” found only in Alexandria, VA and St. Louis, MO.

Along Jefferson and Gravois are a mixture of historic commercial buildings and contemporary gas stations and convenience stores.

There is a small section of industrial development in the south eastern portion of the area.



REASONS FOR REVIEW:

Under Title 24, the enabling legislation for the Cultural Resources Office and the Preservation Board, all petitions for amendment of the boundaries of historic districts must be reviewed at a meeting of the Preservation Board and a recommendation made concerning the amendment, before the ordinance for the designation can be considered by the Board of Aldermen.

RELEVANT LEGISLATION:

Title 24, Ordinance 64689 see Attachment I.
Ordinance 66098 – Fox Park Local Historic District see Attachment II

COMMUNITY CONSULTATION:

Staff has made three presentations about the proposed Historic District boundary extension at neighborhood meetings during the spring of 2010. In addition to these public meetings, the law requires that the neighborhood be posted and another public meeting is held after the posting, so that neighborhood testimony can be recorded. After the Board Bill expanding the boundaries of the District is introduced at the Board of Aldermen, another public posted public hearing must be held by the Board of Aldermen's Committee on Public Safety.

COMMENTS :

Members of the Fox Park Neighborhood Association have worked very hard to disseminate information about this proposed boundary extension. They have recently completed photography of every streetscape in the proposed boundary extension area. The proposal has the support of Alderwomen Triplett and Young, as well as the DeSales Housing Corporation.

CONCLUSION:

Staff recommends that the Preservation Board approve the petition for extension of the boundaries of the Fox Park Local Historic District and the incorporation of the existing historic district design standards into the extended District and that the Preservation Board recommend to the Board of Aldermen that a Board Bill be prepared for that purpose.

CONTACT:

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